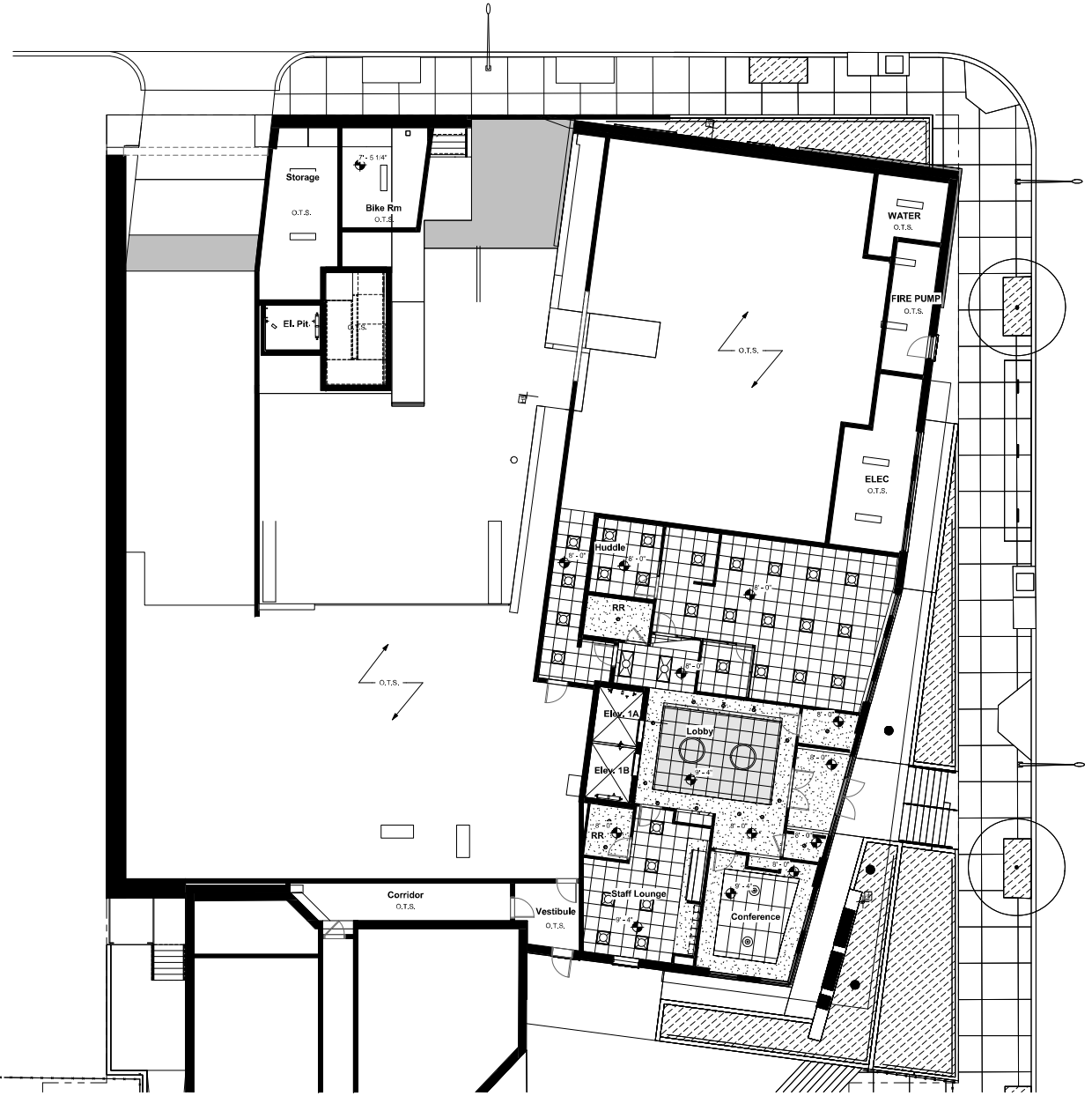


1 Parking Level Reflected Ceiling Plan
1/8" = 1'-0"

GENERAL RCP NOTES:

1. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.

2. SPRINKLERS TO HAVE RECESSED SIDE WALL MOUNTED HEADS, TYP.

LEGEND:

- 2' x 2' WOOD ACT
- GYP. BRD. CEILING
- 2' x 2' ACT
- 2' x 4' ACT
- 5' x 5' ACT
- 4" WIDE ACOUSTICAL WOOD PLANKS

O.T.S. = OPEN TO STRUCTURE

KEY:

- 6" RECESSED CAN LIGHT
- PENDANT LIGHT
- 9" DIAMETER RECESSED LIGHT (LENGTH VARIES)
- 1' x 4' LIGHT
- 2' x 2' LIGHT
- 2' x 4' LIGHT
- CEILING-MOUNTED LIGHT
- CEILING-MOUNTED FAN
- WALL SCONCE
- WALL-MOUNTED VANITY LIGHT
- HVAC SUPPLY
- OUTDOOR AIR
- RETURN

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Eliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — MARK S. CUNNINGHAM — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

P1 Reflected Ceiling Plan

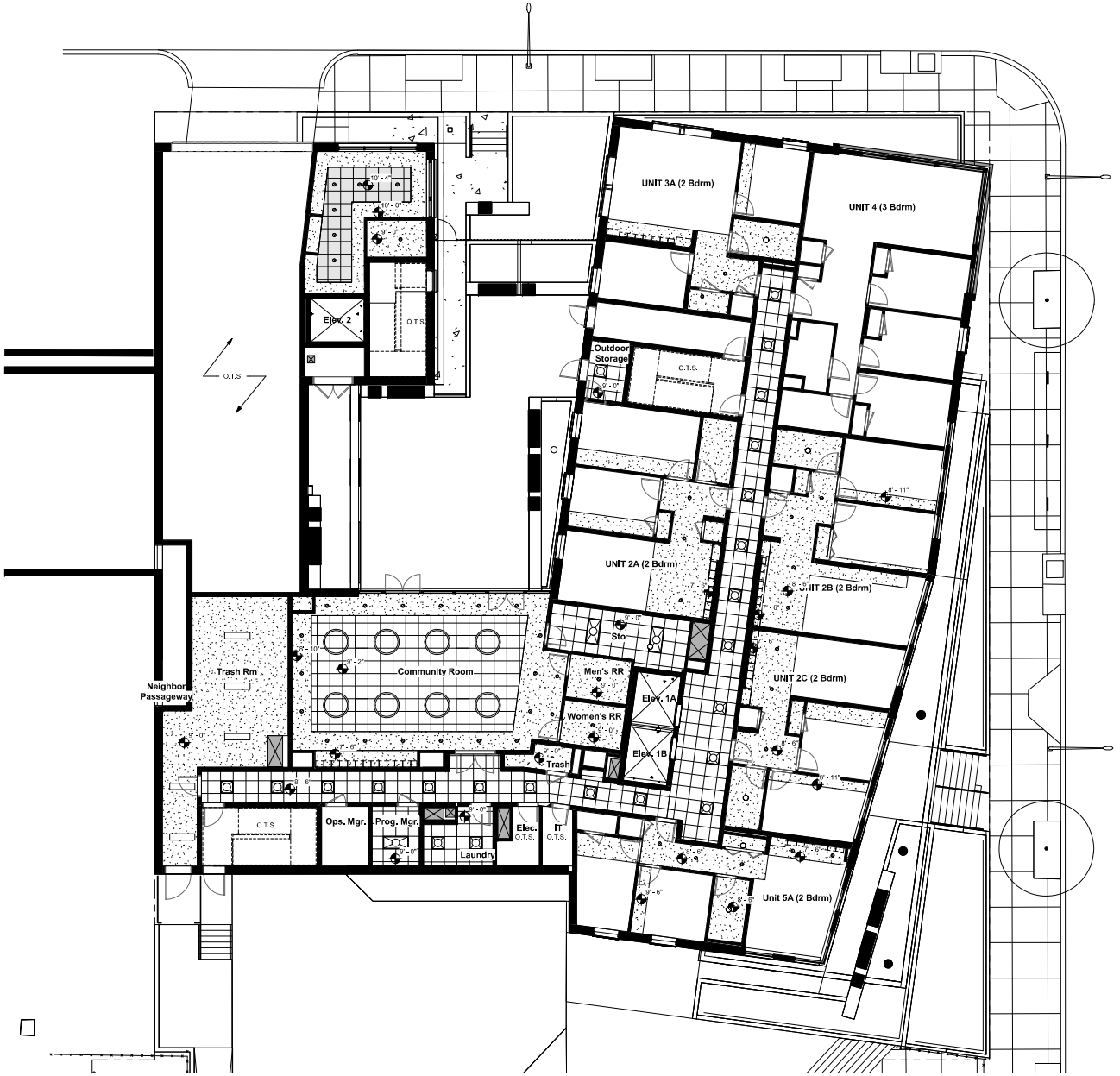
Scale: 1/8" = 1'-0"	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

A2.10

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:12:27 PM

Board of Zoning Adjustment
District of Columbia
CASE NO.20183
EXHIBIT NO.63F2



1 Ground Floor Reflected Ceiling Plan
1/8" = 1'-0"

GENERAL RCP NOTES:

1. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.

2. SPRINKLERS TO HAVE RECESSED SIDE MOUNTED HEADS, TYP.

LEGEND:

- 2' x 2' WOOD ACT
- GYP. BRD. CEILING
- 2' x 2' ACT
- 2' x 4' ACT
- 5' x 5' ACT
- 4" WIDE ACOUSTICAL WOOD PLANKS

O.T.S. = OPEN TO STRUCTURE

KEY:

- 6" RECESSED CAN LIGHT
- PENDANT LIGHT
- 3" DIAMETER RECESSED LIGHT (LENGTH VARIES)
- 1' x 4' LIGHT
- 2' x 2' LIGHT
- 2' x 4' LIGHT
- CEILING-MOUNTED LIGHT
- CEILING-MOUNTED FAN
- WALL SCONCE
- WALL-MOUNTED VANITY LIGHT
- HVAC SUPPLY
- OUTDOOR AIR
- RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
MARK S. CUNNINGHAM
No. 5103
REGISTERED
ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title
Ground Floor Reflected Ceiling Plan

Scale 1/8" = 1'-0"	Drawn By CQA
Date 04/23/19	Checked By CQA

A2.11

4/23/2019 6:12:43 PM

1 Second Floor Reflected Ceiling Plan
1/8" = 1'-0"

GENERAL RCP NOTES:

1. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.

2. SPRINKLERS TO HAVE RECESSED SIDEWALL MOUNTED HEADS, TYP.

LEGEND:

- 2' X 2' WOOD ACT
- GYP. BRD. CEILING
- 2' X 2' ACT
- 2' X 4' ACT
- 9' X 9' ACT
- 4" WIDE ACOUSTICAL WOOD PLANKS

O.T.S. = OPEN TO STRUCTURE

KEY:

- 6" RECESSED CAN LIGHT
- PENDANT LIGHT
- 9" DIAMETER RECESSED LIGHT (LENGTH VARIES)
- 1' x 4' LIGHT
- 2' x 2' LIGHT
- 2' x 4' LIGHT
- CEILING-MOUNTED LIGHT
- CEILING-MOUNTED FAN &
- WALL SCONCE
- WALL-MOUNTED VANITY LIGHT
- HVAC SUPPLY
- OUTDOOR AIR
- RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved subject to corrections noted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Selty & Associates Int'l
1415 Eliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
MARK S. CUNNINGHAM
No. 5103
REGISTERED
ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

2nd thru 4th Floor Reflected Ceiling Plans

Scale 1/8" = 1'-0"	Drawn By CQA
Date 04/23/19	Checked By CQA

A2.12

4/23/2019 6:12:57 PM

1 Fifth Floor Reflected Ceiling Plan
1/8" = 1'-0"

GENERAL RCP NOTES:

1. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.

2. SPRINKLERS TO HAVE RECESSED SIDE MOUNTED HEADS, TYP.

LEGEND:

- 2' x 2' WOOD ACT
- GYP. BRD. CEILING
- 2' x 2' ACT
- 2' x 4' ACT
- 3' x 3' ACT
- 4" WIDE ACOUSTICAL WOOD PLANKS

O.T.S. = OPEN TO STRUCTURE

KEY:

- 6" RECESSED CAN LIGHT
- PENDANT LIGHT
- 3" DIAMETER RECESSED LIGHT (LENGTH VARIES)
- 1' x 4' LIGHT
- 2' x 2' LIGHT
- 2' x 4' LIGHT
- CEILING-MOUNTED LIGHT
- CEILING-MOUNTED FAN
- WALL SCONCE
- WALL-MOUNTED VANITY LIGHT
- HVAC SUPPLY
- OUTDOOR AIR
- RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 81908601 Date 09/03/19

These plans are conditionally approved and submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Van Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wilde Meresch Corporation
510 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
RALPH S. CUNNINGHAM
No. 5033
REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

5th Floor Reflected Ceiling Plan

Scale 1/8" = 1'-0"	Drawn By CQA
Date 04/23/19	Checked By CQA

A2.13

4/23/2019 6:13:08 PM

3 96_STFH Bay North Elevation
1/8" = 1'-0"

2 North Elevation
1/8" = 1'-0"

1 East Elevation
1/8" = 1'-0"

MATERIAL KEY:

- BRICK (GLEN GERY)
- METAL PANEL (CG DP4, BM 1547)
- RIBBED FIBER CEMENT PANEL (COLOR 4)
- FIBER CEMENT PANELS (COLOR 1: BM 1466, COLOR 2: BM 1473, COLOR 3: BM 1468)

GENERAL NOTES:

1. CONCRETE SITE WALL, TYP.
2. BRICK, TYP.
3. METAL COPING / DECORATIVE PROFILE, TYP.
4. METAL CORNICE, TYP.
5. FIBER-CEMENT PANEL, TYP (COLORS 1, 2, 3)
6. FIBER-CEMENT PANEL, TYP. (COLOR 4)
7. RIBBED FIBER CEMENT PANEL, TYP. (COLOR 4)
8. ALUMINUM WINDOW, TYP.
9. ALUMINUM STOREFRONT, TYP.
10. OPEN-AIR MECHANICAL PENTHOUSE
11. ELEVATOR OVERRUN (BEYOND)
12. BRICK RELIEVING ANGLE LOCATION
13. EXTERIOR GRADE HAS NOT SUBSTANTIALLY CHANGED ALONG BUILDING ELEVATIONS

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Selby & Associates Int'l
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
York Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-2075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — LAURA A. CUNNINGHAM — REGISTERED ARCHITECT — No. 9033

AUG 01 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set
06/24/2019	Rev 5 - Permit Comment Responses
08/01/2019	Bulletin 9 - Permit Comment Responses Round 2

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

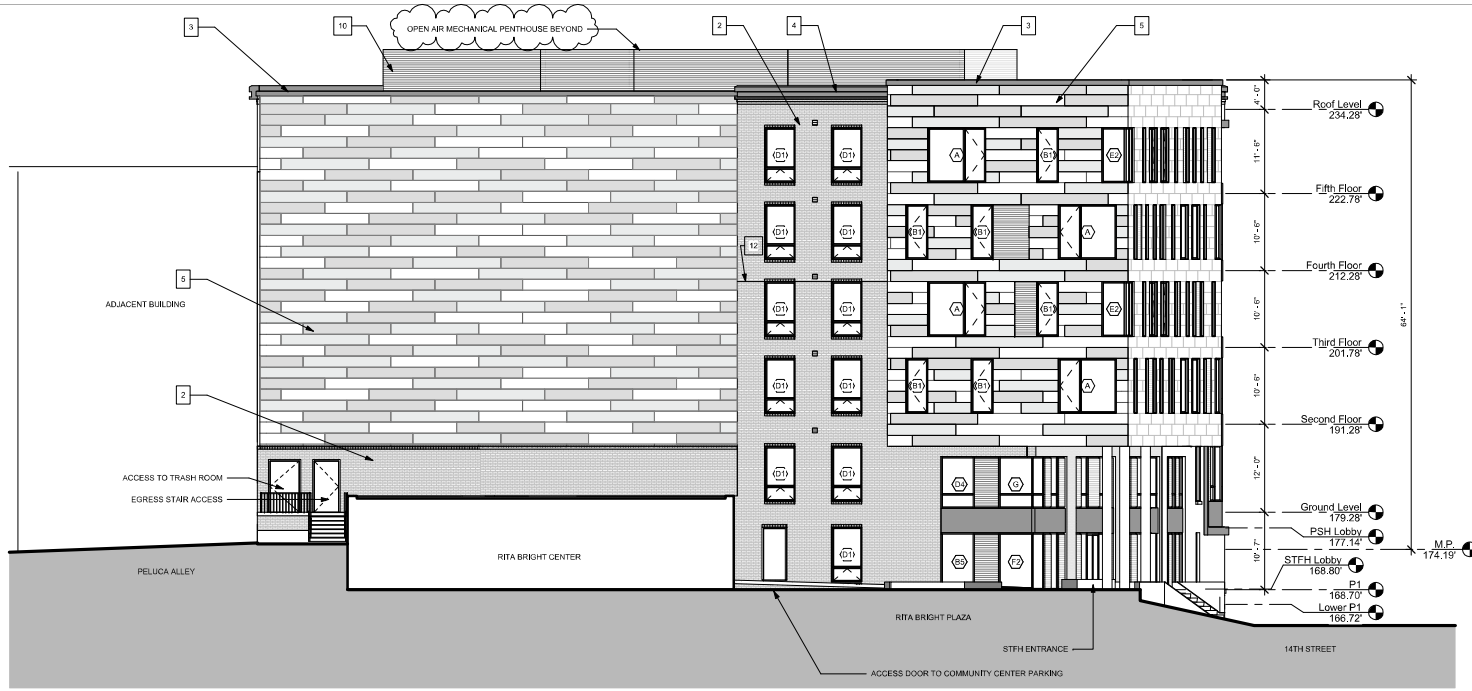
Exterior Elevations

Scale: As indicated	Drawn By: CQA
Date: 08.01.19	Checked By: CQA

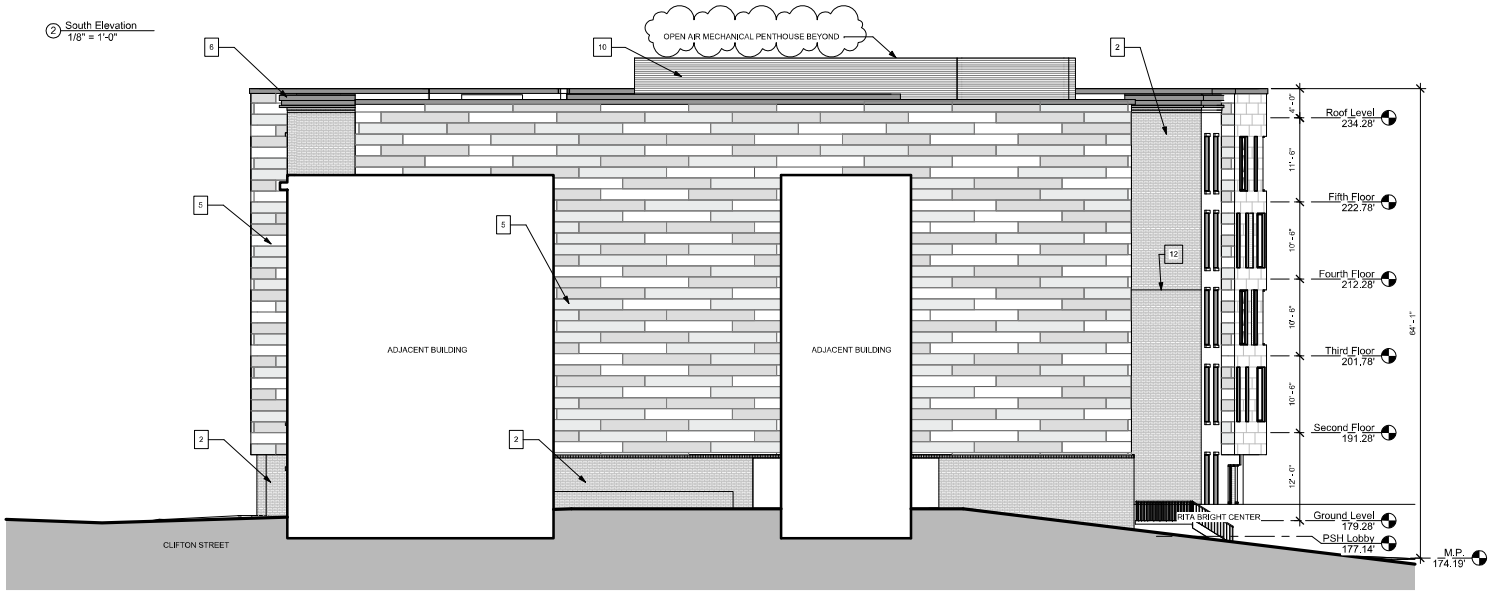
A3.00

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

7/31/2019 4:04:32 PM



2 South Elevation
1/8" = 1'-0"



1 West Elevation
1/8" = 1'-0"

MATERIAL KEY:

- BRICK (GLEN GERY 637)
- METAL PANEL (COLOR 2: BM 1547)
- RIBBED FIBER CEMENT PANEL (COLOR 4)
- FIBER CEMENT PANELS (COLOR 1: BM 1465, COLOR 2: BM 1473, COLOR 3: BM 1468)

GENERAL NOTES:

1. CONCRETE SITE WALL, TYP.
2. BRICK, TYP.
3. METAL COPING / DECORATIVE PROFILE, TYP.
4. METAL CORNICE, TYP.
5. FIBER-CEMENT PANEL, TYP (COLORS 1, 2, 3)
6. FIBER-CEMENT PANEL, TYP. (COLOR 4)
7. RIBBED FIBER CEMENT PANEL, TYP. (COLOR 4)
8. ALUMINUM WINDOW, TYP.
9. ALUMINUM STOREFRONT, TYP.
10. OPEN-AIR MECHANICAL PENTHOUSE
11. ELEVATOR OVERRUN (BEYOND)
12. BRICK RELIEVING ANGLE LOCATION
13. EXTERIOR GRADE HAS NOT SUBSTANTIALLY CHANGED ALONG BUILDING ELEVATIONS

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER
Setty & Associates Intl
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-333-1523

STRUCTURAL ENGINEER
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-449-2075

CIVIL ENGINEER
Wiles Mensch Corporation
910 6th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — LAURA A. CUNNINGHAM — REGISTERED ARCHITECT — No. 9033
AUG 01 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set
06/24/2019	Rev 5 - Permit Comment Responses
08/01/2019	Bulletin 9 - Permit Comment Responses Round 2

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

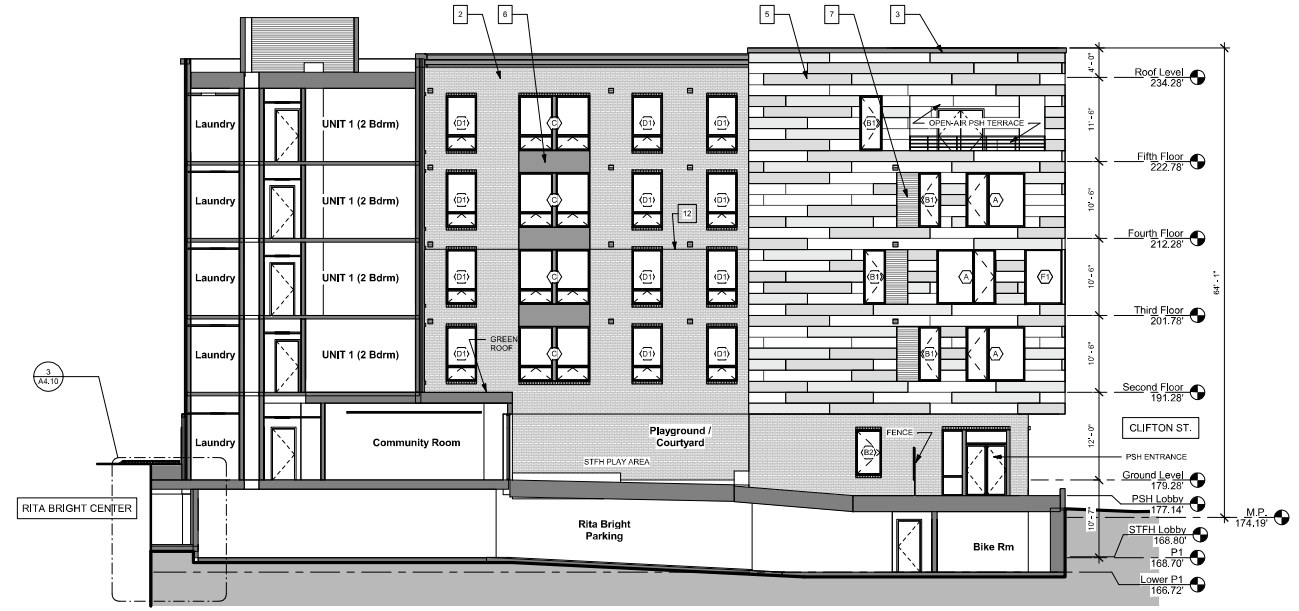
Exterior Elevations

Scale: As indicated	Drawn By: CQA
Date: 08.01.19	Checked By: CQA

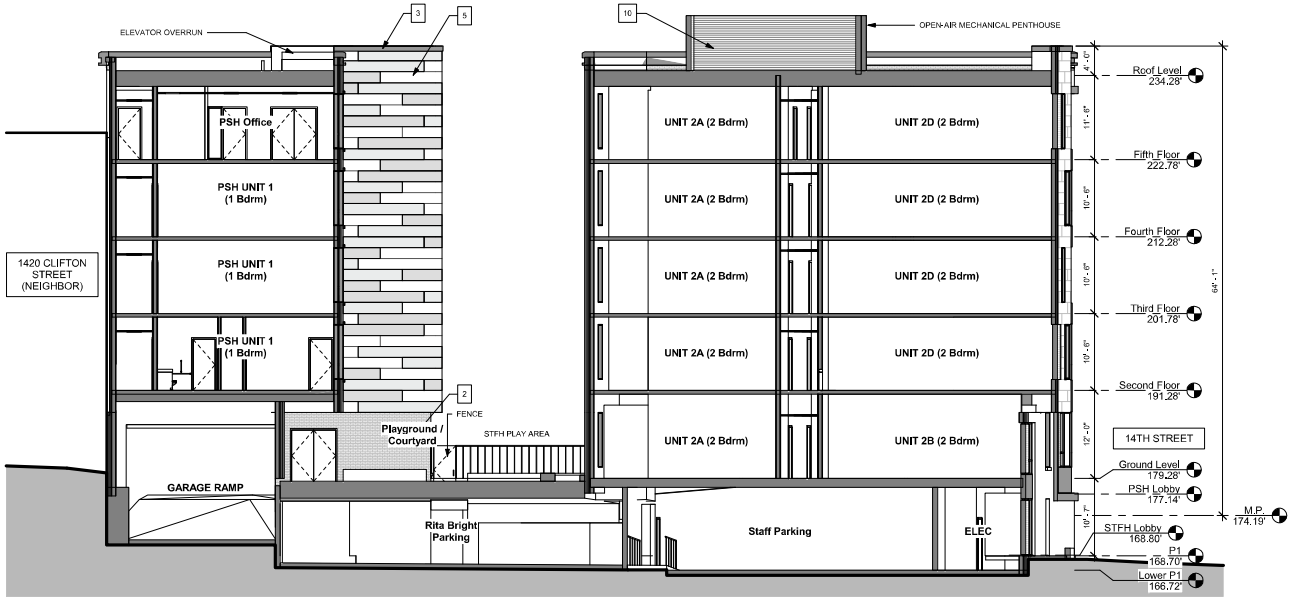
A3.01

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

7/31/2019 4:04:36 PM



2 Courtyard West Elevation
1/8" = 1'-0"



1 Courtyard North Elevation
1/8" = 1'-0"

MATERIAL KEY:

- BRICK (GLEN GERY 5471)
- METAL PANEL (COLOR 1: BM 1547)
- RIBBED FIBER CEMENT PANEL (COLOR 4)
- FIBER CEMENT PANELS (COLOR 1: BM 1465, COLOR 2: BM 1473, COLOR 3: BM 1468)

GENERAL NOTES:

1. CONCRETE SITE WALL, TYP.
2. BRICK, TYP.
3. METAL COPING / DECORATIVE PROFILE, TYP.
4. METAL CORNICE, TYP.
5. FIBER-CEMENT PANEL, TYP (COLORS 1, 2, 3)
6. FIBER-CEMENT PANEL, TYP. (COLOR 4)
7. RIBBED FIBER CEMENT PANEL, TYP. (COLOR 4)
8. ALUMINUM WINDOW, TYP.
9. ALUMINUM STOREFRONT, TYP.
10. OPEN-AIR MECHANICAL PENTHOUSE
11. ELEVATOR OVERRUN (BEYOND)
12. BRICK RELIEVING ANGLE LOCATION
13. EXTERIOR GRADE HAS NOT SUBSTANTIALLY CHANGED ALONG BUILDING ELEVATIONS

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 01908601 Date 09/03/19

Plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision to be made with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31ST STREET NW
SUITE 315
WASHINGTON, DC 20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Van Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wilde Meriesch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
RALPH S. CUNNINGHAM
No. 5033
REGISTERED ARCHITECT
APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

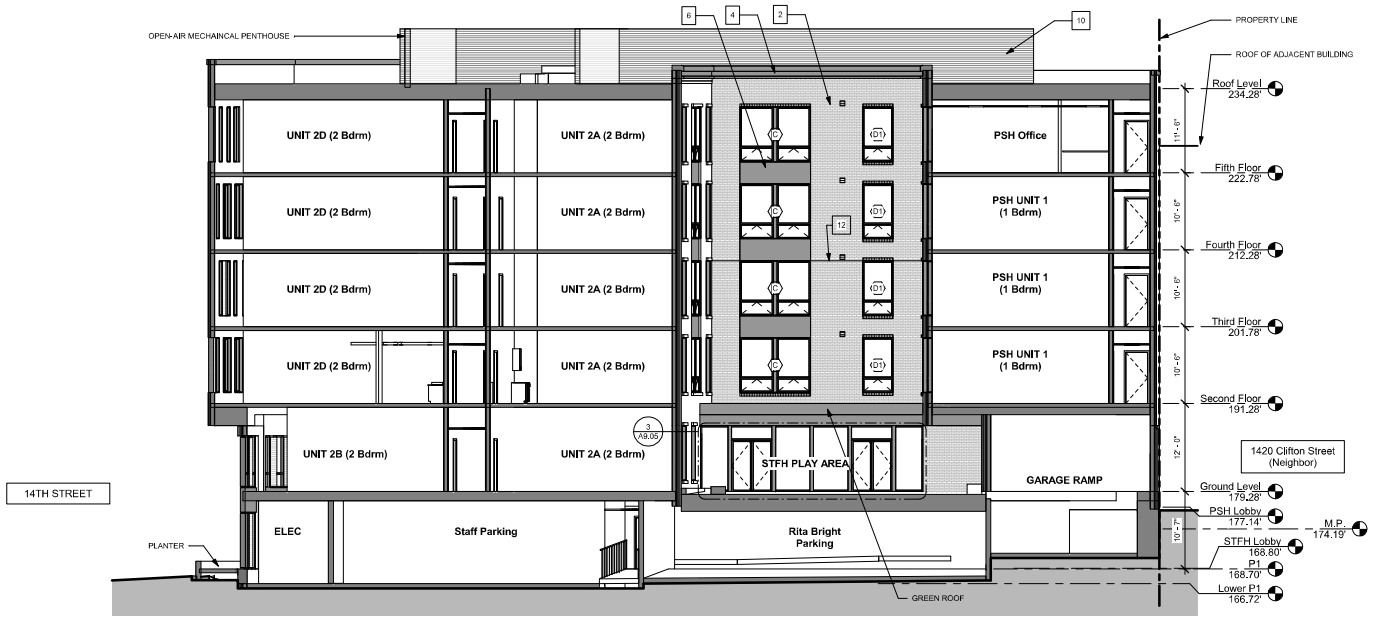
Courtyard Elevations & Sections

Scale: As indicated	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

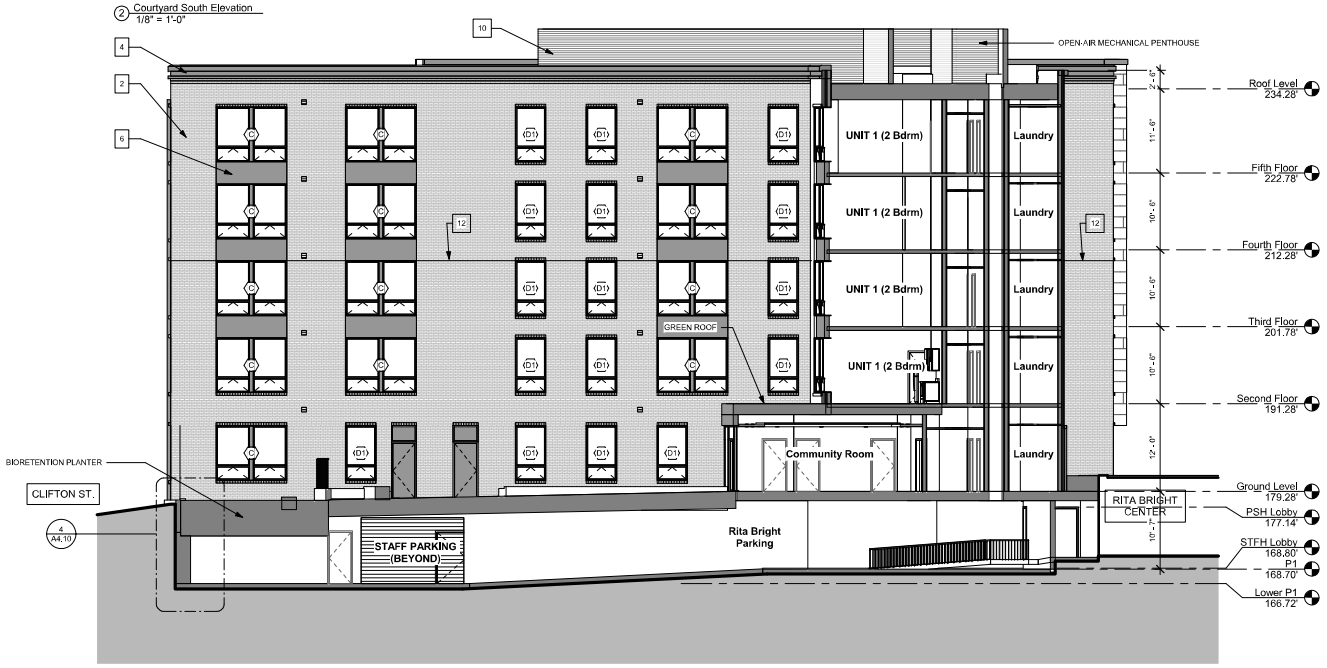
A3.02

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:33:30 PM



2 Courtyard South Elevation
1/8" = 1'-0"



1 Courtyard East Elevation
1/8" = 1'-0"

MATERIAL KEY:

- BRICK (GLEN GARY 6-7)
- METAL PANEL (COLOR 4: BM 1547)
- RIBBED FIBER CEMENT PANEL (COLOR 4)
- FIBER CEMENT PANELS (COLOR 1: BM 1465, COLOR 2: BM 1473, COLOR 3: BM 1468)

GENERAL NOTES:

1. CONCRETE SITE WALL, TYP.
2. BRICK, TYP.
3. METAL COPING / DECORATIVE PROFILE, TYP.
4. METAL CORNICE, TYP.
5. FIBER-CEMENT PANEL, TYP (COLORS 1, 2, 3)
6. FIBER-CEMENT PANEL, TYP. (COLOR 4)
7. RIBBED FIBER CEMENT PANEL, TYP. (COLOR 4)
8. ALUMINUM WINDOW, TYP.
9. ALUMINUM STOREFRONT, TYP.
10. OPEN-AIR MECHANICAL PENTHOUSE
11. ELEVATOR OVERRUN (BEYOND)
12. BRICK RELIEVING ANGLE LOCATION
13. EXTERIOR GRADE HAS NOT SUBSTANTIALLY CHANGED ALONG BUILDING ELEVATIONS

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 01908601 Date 09/03/19
The plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision to be made with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC 20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wilde Meriesch Corporation
510 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
RALPH S. CUNNINGHAM
No. 5033
REGISTERED ARCHITECT
APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

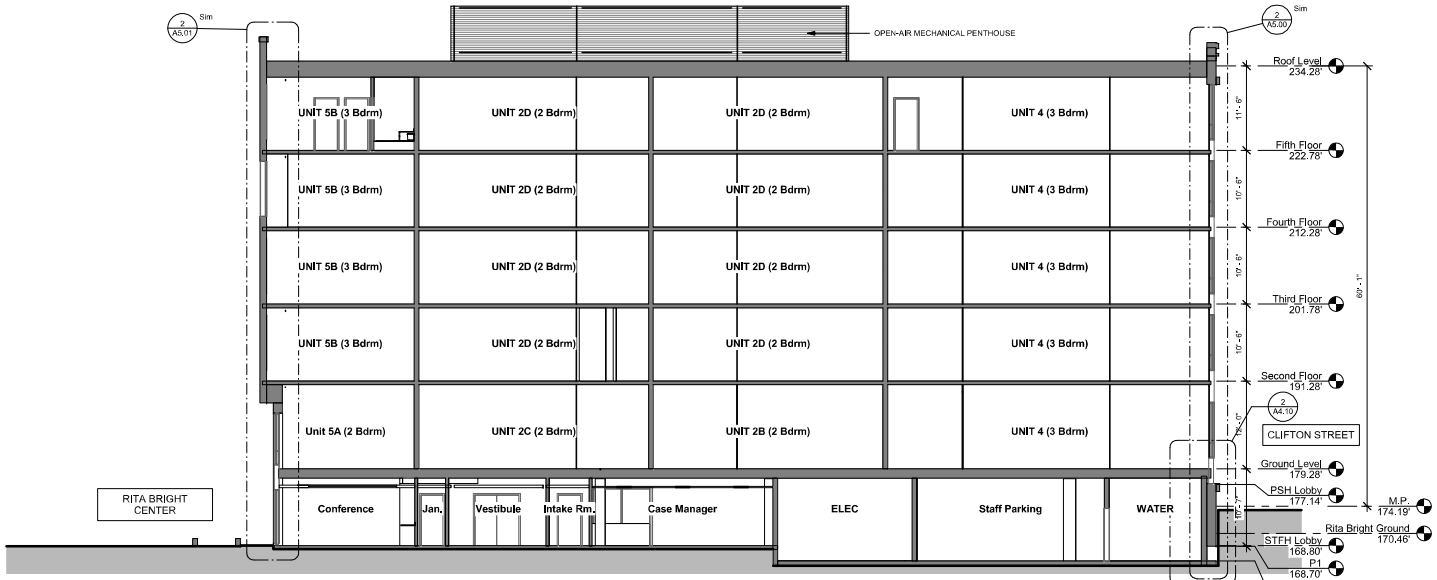
Courtyard Elevations & Sections

Scale	Drawn By
As indicated	CQA
Date	Checked By
04/23/19	CQA

A3.03

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:33:45 PM



2 Section A
1/8" = 1'-0"

1 Section B
1/8" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Eye Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-636-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — JAMES S. CUNNINGHAM — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

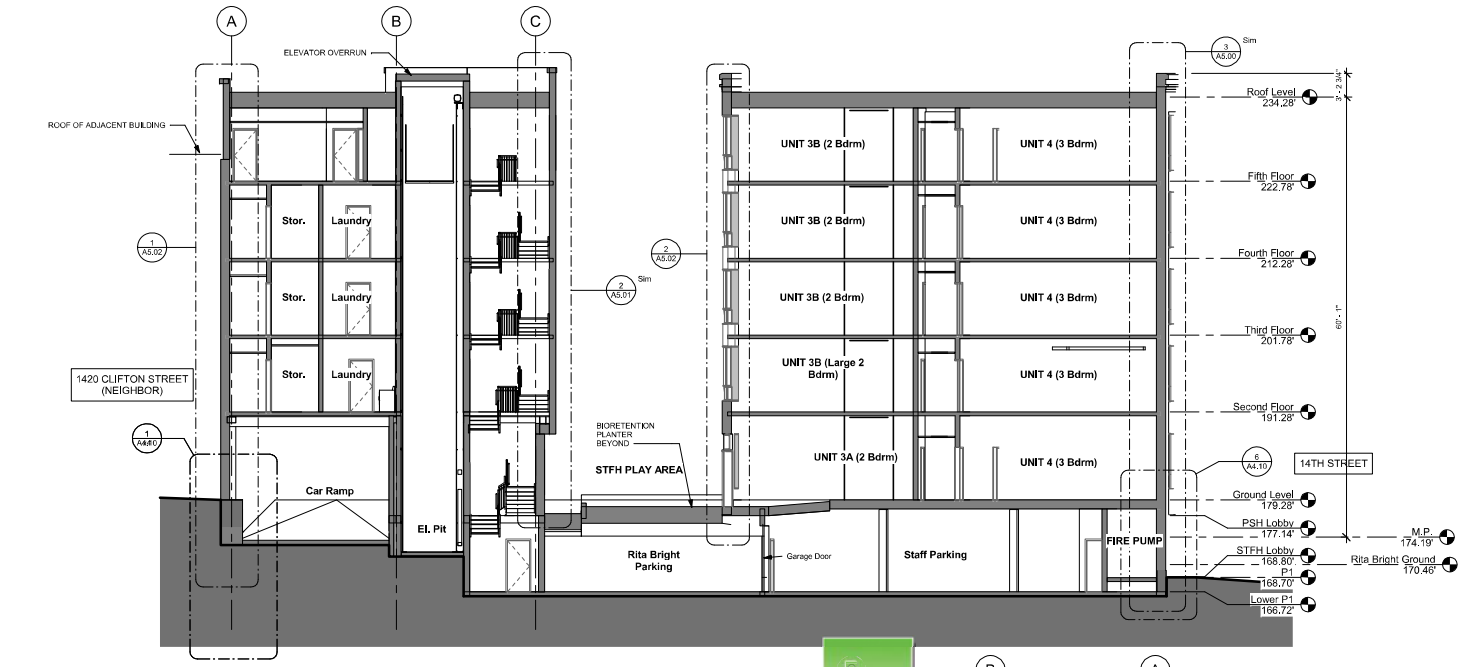
Building Sections

Scale 1/8" = 1'-0"	Drawn By CQA
Date 04/23/19	Checked By CQA

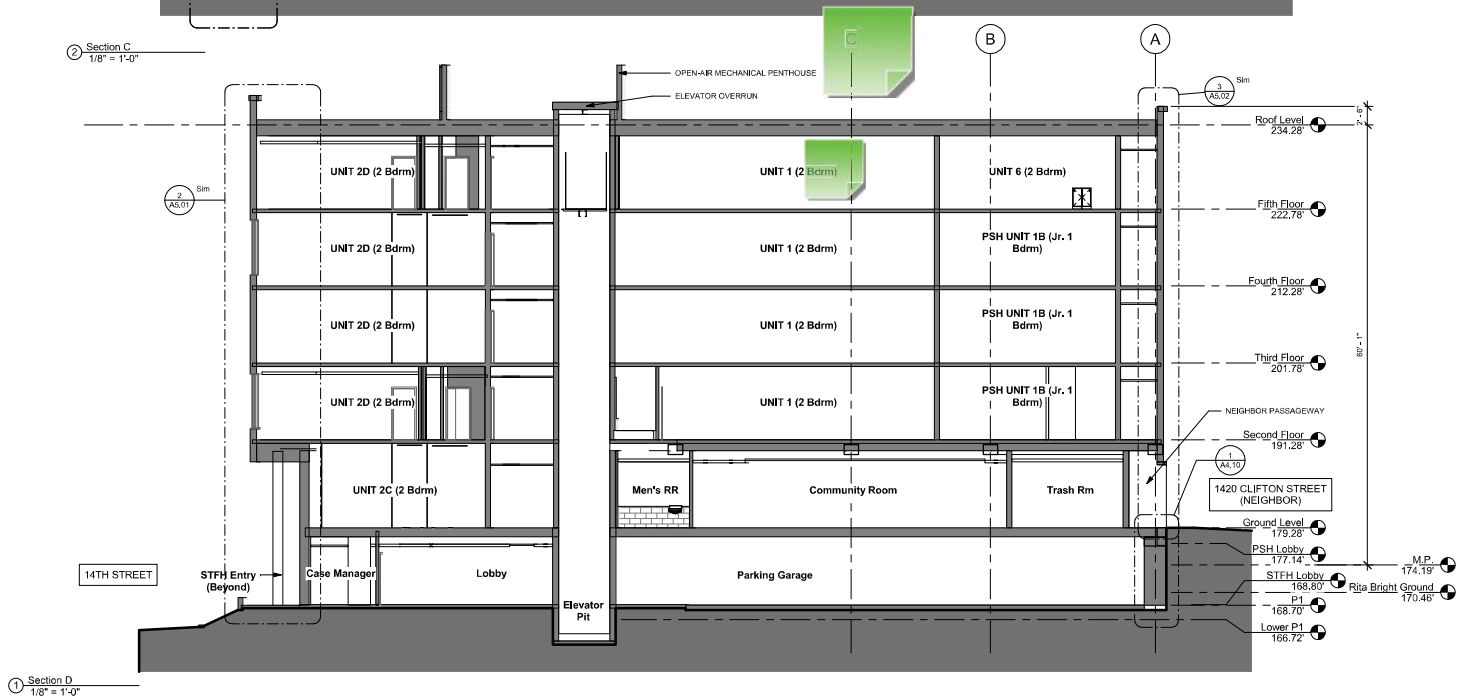
A4.00

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:14:20 PM



2 Section C
1/8" = 1'-0"



1 Section D
1/8" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1902601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Int'l
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-636-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
JAMES A. CUNNINGHAM
No. 5103
REGISTERED
ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

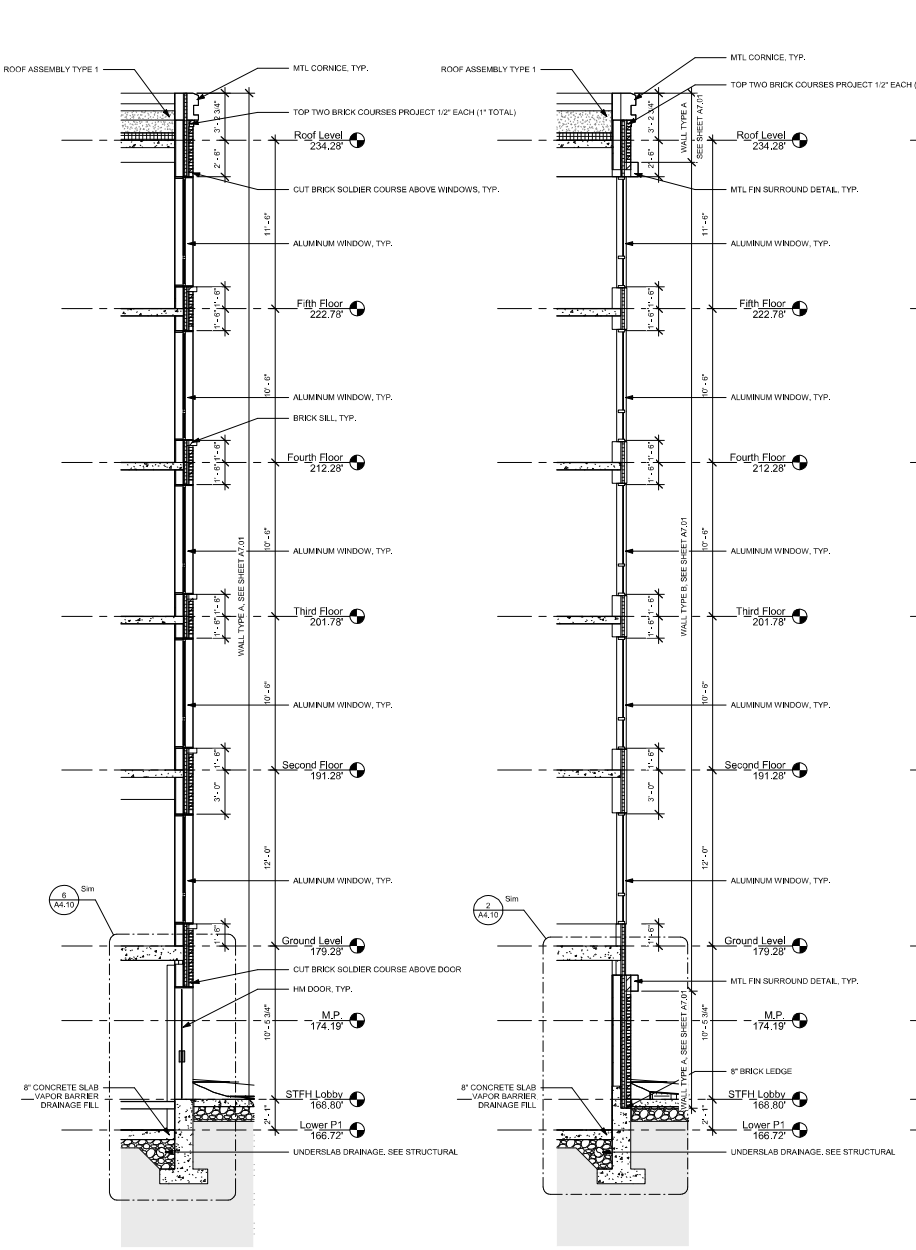
Building Sections

Scale 1/8" = 1'-0"	Drawn By CQA
Date 04/23/19	Checked By CQA

A4.01

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:14:29 PM



INSULATION NOTES:

TYPICAL INSULATION VALUES:

ROOF:
R-25 CONTINUOUS INSULATION

WALLS:
R-19 BATT + R-7.5 CONTINUOUS INSULATION

WALL BELOW GRADE:
R-7.5 CONTINUOUS INSULATION

SLAB:
R-10 FOR 2 FT

ALL RIGID INSULATION TO BE RESNET GRADE I

GENERAL NOTES:

1. ASSEMBLIES TO MEET ASTM E 2357 & ASTM E 1677 OR ASTM E 283
2. ALL MATERIALS REQUIRE SEALED JOINTS
3. CONTINUOUS AIR-BARRIER TO BE WRAPPED, SEALED, CAULKED, GASKETED, TAPED IN APPROVED MANNER
4. ALL SOURCES OF AIR LEAKAGE IN THE BUILDING THERMAL ENVELOPE ARE TO BE SEALED, CAULKED, GASKETED OR WEATHER STRIPPED TO MINIMIZE AIR LEAKAGE
5. ROOF INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
6. ABOVE GRADE WALL INSULATION TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS
7. BUILDING INSULATION TO BE LABELED WITH R-VALUE OR INSULATION CERTIFICATE EXTERIOR INSULATION TO BE PROTECTED FROM DAMAGE, SUNLIGHT, MOISTURE, WIND, LANDSCAPE MAINTENANCE ACTIVITIES, ETC. WITH PROTECTIVE MATERIAL
8. INSULATION IN CONTACT WITH THE GROUND HAS A LESS THAN OR EQUAL TO 0.3% WATER ABSORPTION RATE PER ASTM C272

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

MEP ENGINEER:
Setty & Associates Intl
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

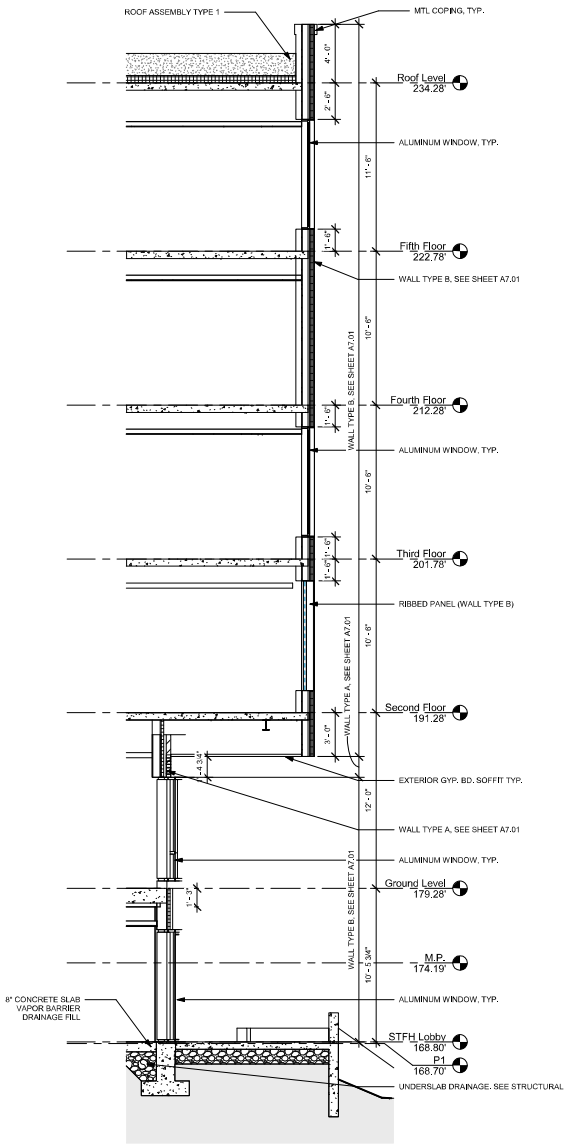
Drawing Title

Wall Sections

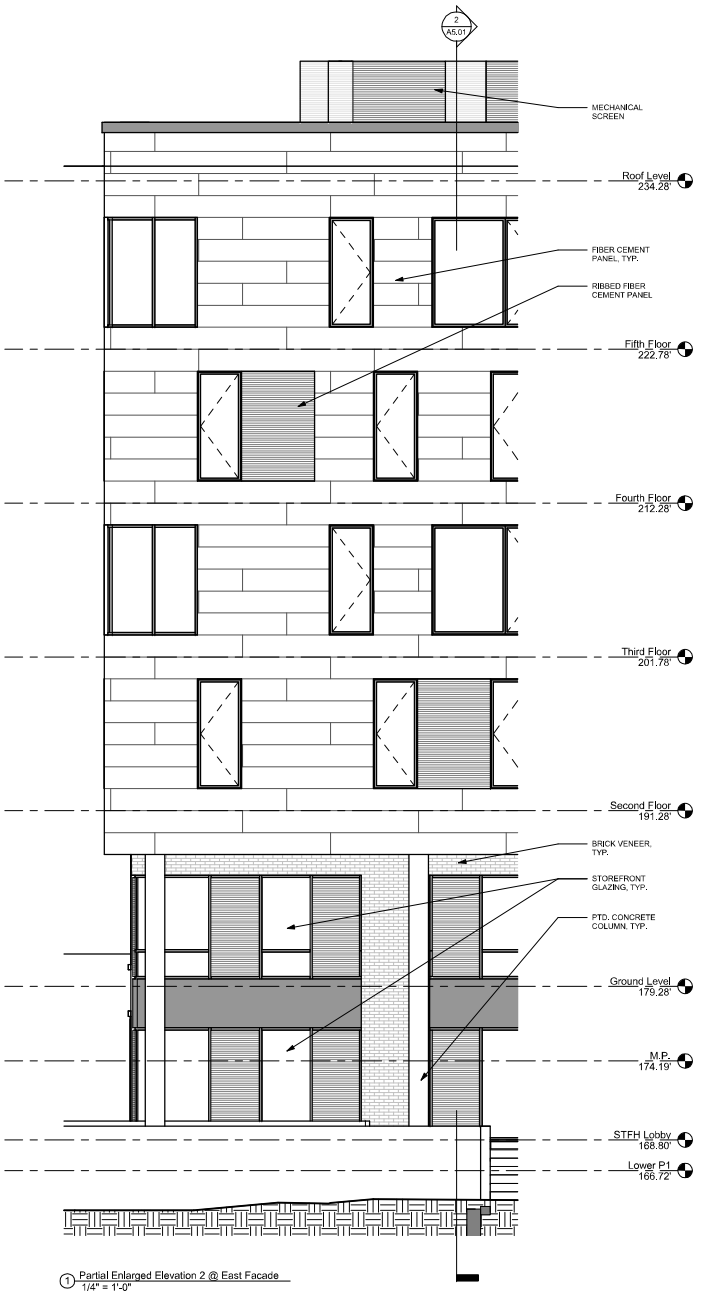
Scale: As indicated	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

A5.00

4/23/2019 6:14:44 PM



2 Wall Section @ Fiber-Cement Bay
1/4" = 1'-0"



1 Partial Enlarged Elevation 2 @ East Facade
1/4" = 1'-0"

INSULATION NOTES:

TYPICAL INSULATION VALUES:

ROOF:
R-25 CONTINUOUS INSULATION

WALLS:
R-19 BATT + R-7.5 CONTINUOUS INSULATION

WALL BELOW GRADE:
R-7.5 CONTINUOUS INSULATION

SLAB:
R-10 FOR 2 FT

ALL RIGID INSULATION TO BE RESNET GRADE I

GENERAL NOTES:

1. ASSEMBLIES TO MEET ASTM E 2357 & ASTM E 1677 OR ASTM E 283
2. ALL MATERIALS REQUIRE SEALED JOINTS
3. CONTINUOUS AIR-BARRIER TO BE WRAPPED, SEALED, CAULKED, GASKETED, TAPED IN APPROVED MANNER
4. ALL SOURCES OF AIR LEAKAGE IN THE BUILDING THERMAL ENVELOPE ARE TO BE SEALED, CAULKED, GASKETED OR WEATHER STRIPPED TO MINIMIZE AIR LEAKAGE
5. ROOF INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
6. ABOVE GRADE WALL INSULATION TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS
7. BUILDING INSULATION TO BE LABELED WITH R-VALUE OR INSULATION CERTIFICATE EXTERIOR INSULATION TO BE PROTECTED FROM DAMAGE, SUNLIGHT, MOISTURE, WIND, LANDSCAPE MAINTENANCE ACTIVITIES, ETC. WITH PROTECTIVE MATERIAL
8. INSULATION IN CONTACT WITH THE GROUND HAS A LESS THAN OR EQUAL TO 0.3% WATER ABSORPTION RATE PER ASTM C272

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — JAMES S. CUNNINGHAM — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

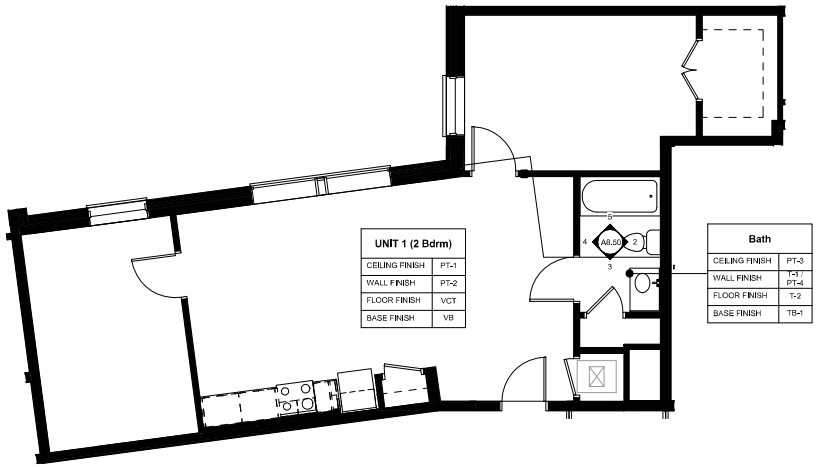
Wall Sections

Scale: As indicated	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

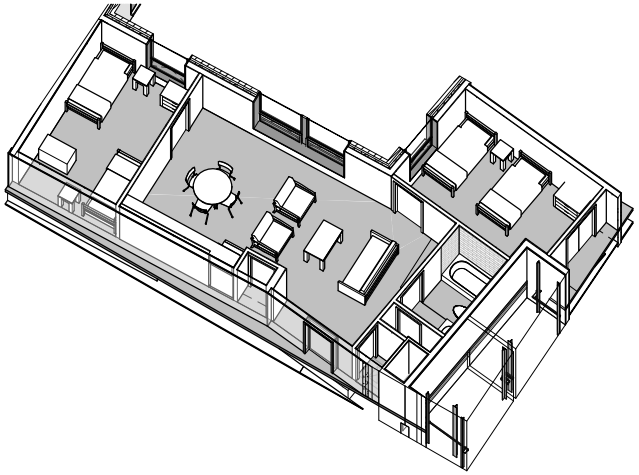
A5.01

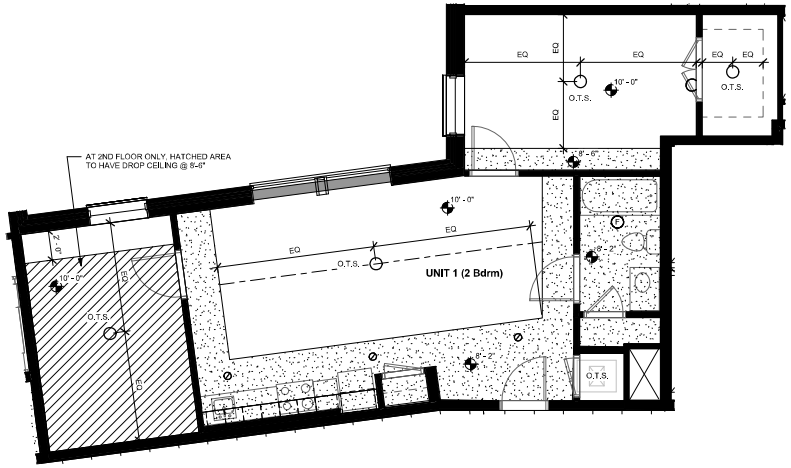
ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

4/23/2019 6:14:50 PM

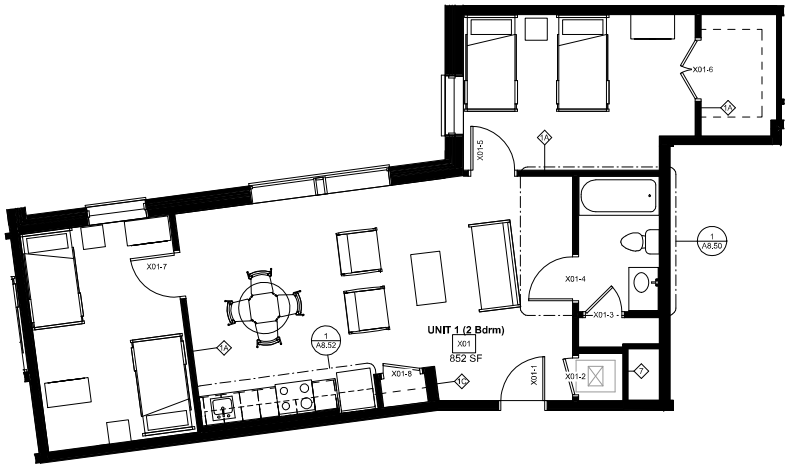


3 STFH Unit 1 - Finish Plan
1/4" = 1'-0"





2 STFH Unit 1 - RCP
1/4" = 1'-0"



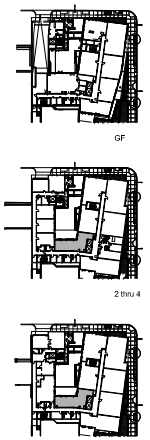
1 STFH Unit 1 - Floor Plan
1/4" = 1'-0"

0' 2' 6' 12'

GENERAL NOTES:

1. FURNITURE SHOWN FOR REFERENCE, NIC.
2. ROOM NUMBER SHOWN IN GENERIC FORMAT TO APPLY TO ALL FLOORS, I.E., X01 REPRESENTS ROOMS 101, 201, 301, ETC.
3. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE IN RCP, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.
4. SPRINKLERS TO HAVE RECESSED SIDE-MOUNTED HEADS, TYP.

UNIT LOCATION PLAN:



RCP LEGEND:

GYP. BRD. CEILING

O.T.S. = OPEN TO STRUCTURE

RCP KEY:

6" RECESSED CAN LIGHT

CEILING-MOUNTED LIGHT

CEILING-MOUNTED FAN & LIGHT

HVAC SUPPLY

OUTDOOR AIR SUPPLY

RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19
These plans are conditionally approved as submitted or noted during plan review ONLY subject to field inspection. Approved plans must be kept on site and are needed for inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
MARK S. CUNNINGHAM
No. 5103
REGISTERED
ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

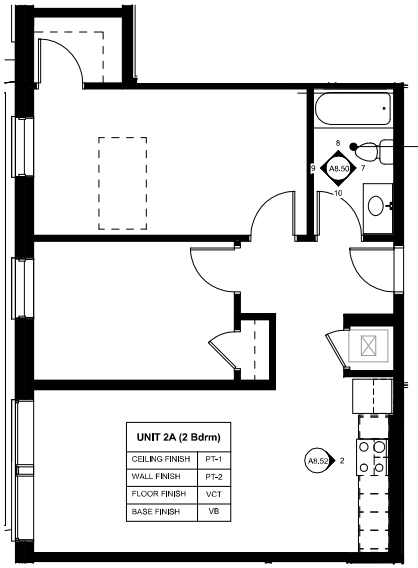
Drawing Title

STFH Unit 1

Scale	Drawn By
As indicated	CQA
Date	Checked By
04/23/19	CQA

A8.00

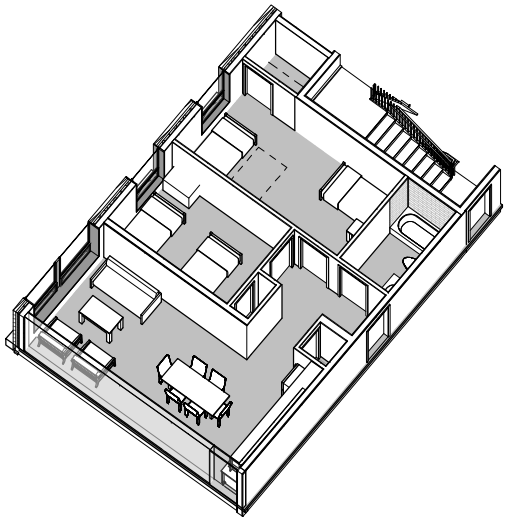
4/23/2019 6:16:14 PM

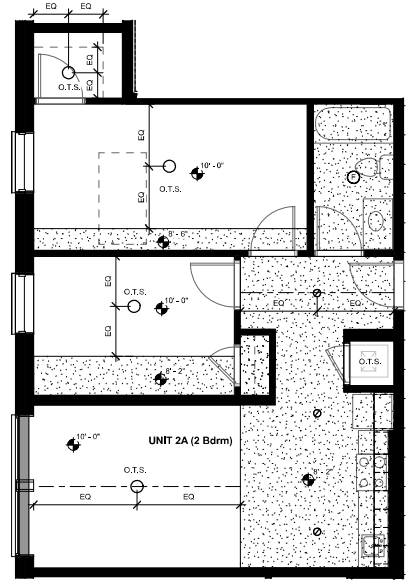


BATH	
CEILING FINISH	PT-3
WALL FINISH	T-1 / PT-4
FLOOR FINISH	VCT
BASE FINISH	TB-1

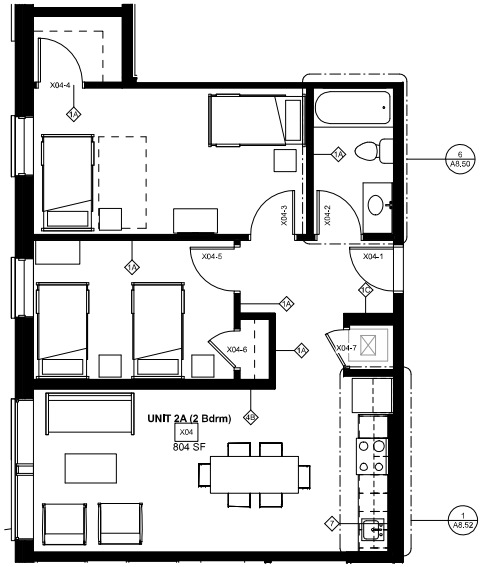
UNIT 2A (2 Bdrm)	
CEILING FINISH	PT-1
WALL FINISH	PT-2
FLOOR FINISH	VCT
BASE FINISH	VB

3 STFH Unit 2A - Finish Plan
1/4" = 1'-0"





2 STFH Unit 2A - RCP
1/4" = 1'-0"



1 STFH Unit 2A
1/4" = 1'-0"

0' 2' 6' 12'

X01-6

GENERAL NOTES:

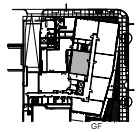
1. FURNITURE SHOWN FOR REFERENCE, NIC
2. ROOM NUMBER SHOWN IN A GENERIC FORMAT TO APPLY TO ALL FLOORS, LE, X01 REPRESENTS ROOMS 101, 201, 301, ETC.
3. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE IN RCP, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.
4. SPRINKLERS TO HAVE RECESSED SIDE-MOUNTED HEADS, TYP.

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 81908601 Date 09/03/19

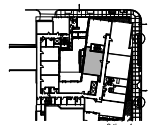
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

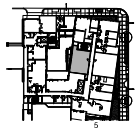
UNIT LOCATION PLAN:



GF



2 thru 4



5

RCP LEGEND:

GYP. BRD. CEILING

O.T.S. = OPEN TO STRUCTURE

RCP KEY:

8" RECESSED CAN LIGHT

CEILING-MOUNTED LIGHT

CEILING-MOUNTED FAN & LIGHT

HVAC SUPPLY

OUTDOOR AIR SUPPLY

RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

CUNNINGHAM | QUILL ARCHITECTS PLLC

1054 31ST STREET NW
SUITE 315
WASHINGTON, DC
20007

PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1415 Elliot Place, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Van Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wilkes Mensch Corporation
510 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA
RALPH S. CUNNINGHAM
No. 5033
REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

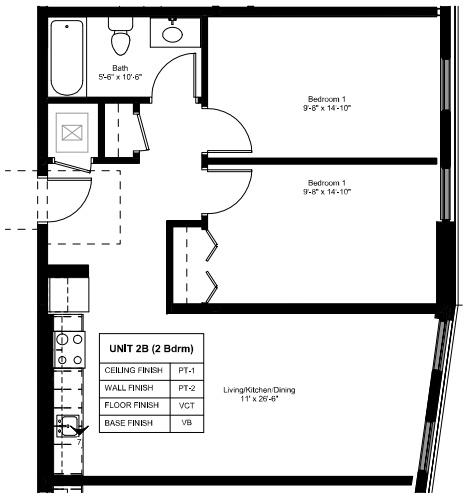
Drawing Title

STFH Unit 2A

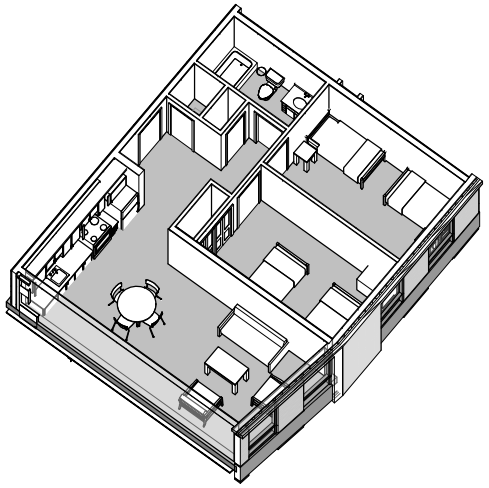
Scale	Drawn By
As indicated	CQA
Date	Checked By
04/23/19	CQA

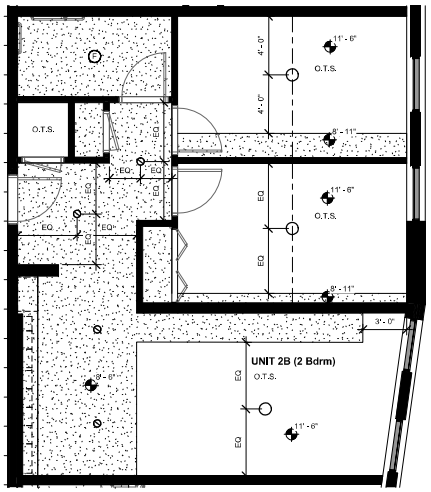
A8.01

4/23/2019 6:16:31 PM

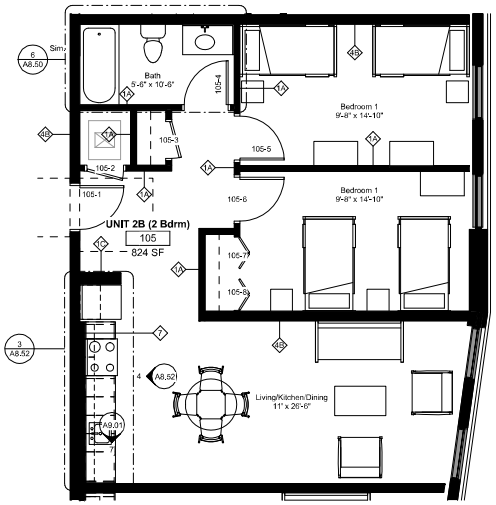


3 STFH Unit 2B - Finish Plan
1/4" = 1'-0"





2 STFH Unit 2B - RCP
1/4" = 1'-0"



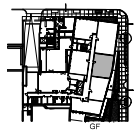
1 STFH Unit 2B - Floor Plan
1/4" = 1'-0"

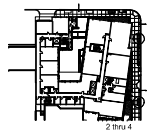
0' 2' 6' 12'

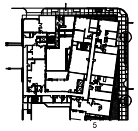
GENERAL NOTES:

1. FURNITURE SHOWN FOR REFERENCE, NIC.
2. ROOM NUMBER SHOWN IN GENERIC FORMAT TO APPLY TO ALL FLOORS, i.e., 101 REPRESENTS ROOMS 101, 201, 301, ETC.
3. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE IN RCP, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.
4. SPRINKLERS TO HAVE RECESSED SIDE-MOUNTED HEADS, TYP.

UNIT LOCATION PLAN:







RCP LEGEND:

GYP. BRD. CEILING

O.T.S. = OPEN TO STRUCTURE

RCP KEY:

6" RECESSED CAN LIGHT

CEILING-MOUNTED LIGHT

CEILING-MOUNTED FAN & LIGHT

HVAC SUPPLY

OUTDOOR AIR SUPPLY

RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Selby & Associates Int'l
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-636-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — MARK S. CUNNINGHAM — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

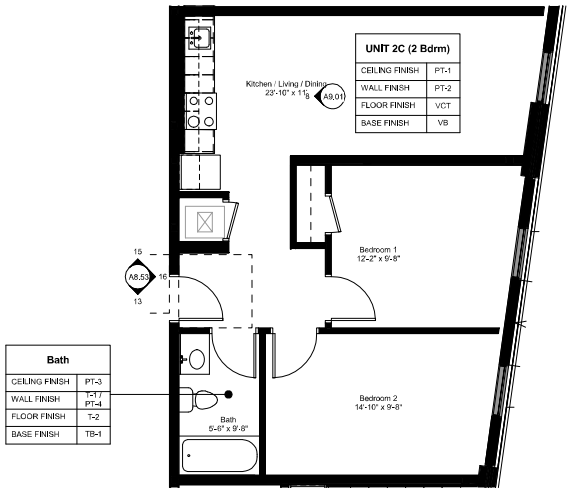
Drawing Title

STFH Unit 2B

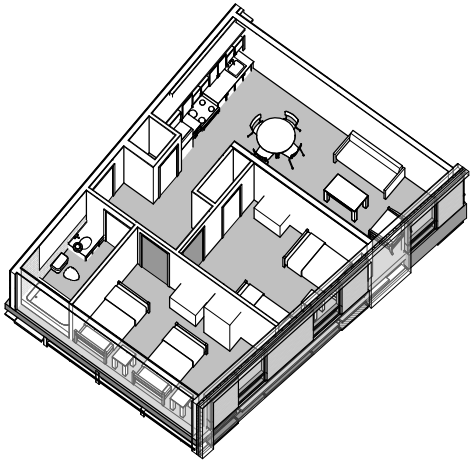
Scale: As indicated	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

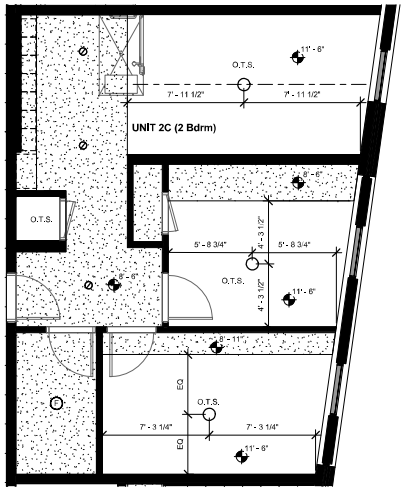
A8.02

4/23/2019 6:16:48 PM

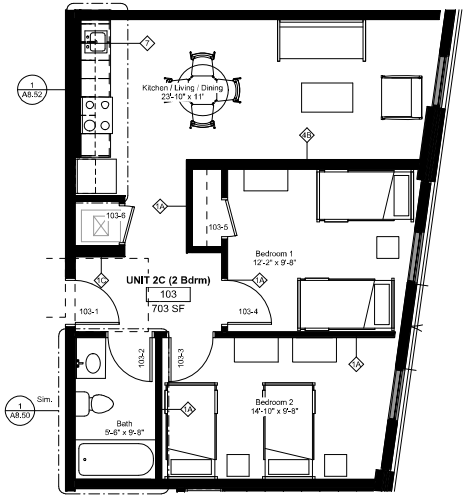


3 STFH Unit 2C - Finish Plan
1/4" = 1'-0"





2 STFH Unit 2C - RCP
1/4" = 1'-0"



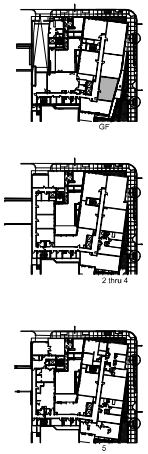
1 STFH Unit 2C - Floor Plan
1/4" = 1'-0"

0' 2' 6' 12'

GENERAL NOTES:

1. FURNITURE SHOWN FOR REFERENCE, NIC
2. ROOM NUMBER SHOWN IS A GENERIC FORMAT TO APPLY TO ALL FLOORS, I.E. 401 REPRESENTS ROOMS 101, 201, 301, ETC.
3. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE IN RCP, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.
4. SPRINKLERS TO HAVE RECESSED SIDE-MOUNTED HEADS, TYP.

UNIT LOCATION PLAN:



RCP LEGEND:

GYP. BRD. CEILING

O.T.S. = OPEN TO STRUCTURE

RCP KEY:

6" RECESSED CAN LIGHT

CEILING-MOUNTED LIGHT

CEILING-MOUNTED FAN & LIGHT

HVAC SUPPLY

OUTDOOR AIR SUPPLY

RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for inspections. No changes or modifications to these plans. Changes require a revision to result with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

MEP ENGINEER:
Selty & Associates Int'l
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA MARK S. CUNNINGHAM No. 5103 REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

STFH Unit 2C

Scale: As indicated	Drawn By: CQA
Date: 04/23/19	Checked By: CQA

A8.03

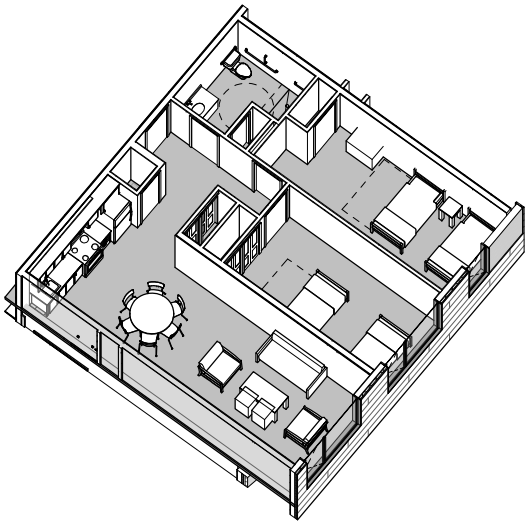
4/23/2019 6:17:00 PM

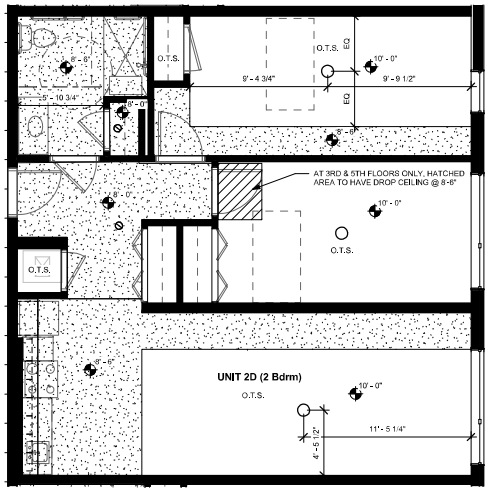
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits required for trade work. e.g. Electrical or Plumbing

Bath	
CEILING FINISH	PT-3
WALL FINISH	T-1 / PT-4
FLOOR FINISH	T-2
BASE FINISH	TB-1

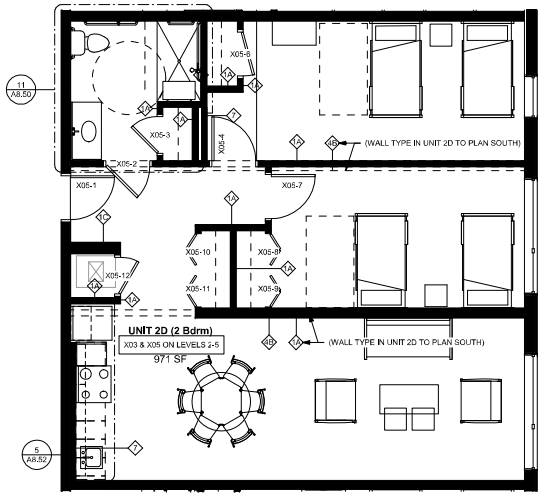
UNIT 2D (2 Bdrm)	
CEILING FINISH	PT-1
WALL FINISH	PT-2
FLOOR FINISH	VCT
BASE FINISH	VB-1

3 STFH Unit 2D - Finish Plans
1/4" = 1'-0"





2 STFH Unit 2D - RCP
1/4" = 1'-0"



1 STFH Unit 2D
1/4" = 1'-0"

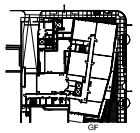
0' 2' 6' 12'

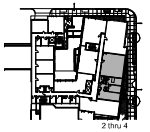
GENERAL NOTES:

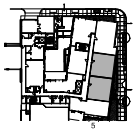
1. FURNITURE SHOWN IS FOR REFERENCE, NIC
2. ROOM NUMBER SHOWN IN THE GENERIC FORMAT IS TO APPLY TO ALL FLOORS, I.E. X01 REPRESENTS ROOMS 101, 201, 301, ETC.
3. IF NO DIMENSIONS ARE SHOWN TO LOCATE A FIXTURE IN RCP, IT SHALL BE CENTERED IN THE ROOM OR CEILING GRID.
4. SPRINKLERS TO HAVE RECESSED SIDE-MOUNTED HEADS, TYP.

ADA ACCESSIBLE UNIT

UNIT LOCATION PLAN:







RCP LEGEND:

GYP. BRD. CEILING

O.T.S. = OPEN TO STRUCTURE

RCP KEY:

6" RECESSED CAN LIGHT

CEILING-MOUNTED LIGHT

CEILING-MOUNTED FAN & LIGHT

HVAC SUPPLY

OUTDOOR AIR SUPPLY

RETURN

ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC
1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007
PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

DGS
THE DEPARTMENT OF GENERAL SERVICES

MEP ENGINEER:
Setty & Associates Intl
1455 Pennsylvania Ave, NW, Ste 100
Washington, DC 20007
Phone: 202-393-1523

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-349-3075

CIVIL ENGINEER:
Wiles Mensch Corporation
610 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA — MARK S. CUNNINGHAM — No. 5103 — REGISTERED ARCHITECT

APR 2 3 2019

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development Drawing Set
04/23/2019	Permit Set

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA#21811

Drawing Title

STFH Unit 2D

Scale	Drawn By
As indicated	CQA
Date	Checked By
04/23/19	CQA

A8.04

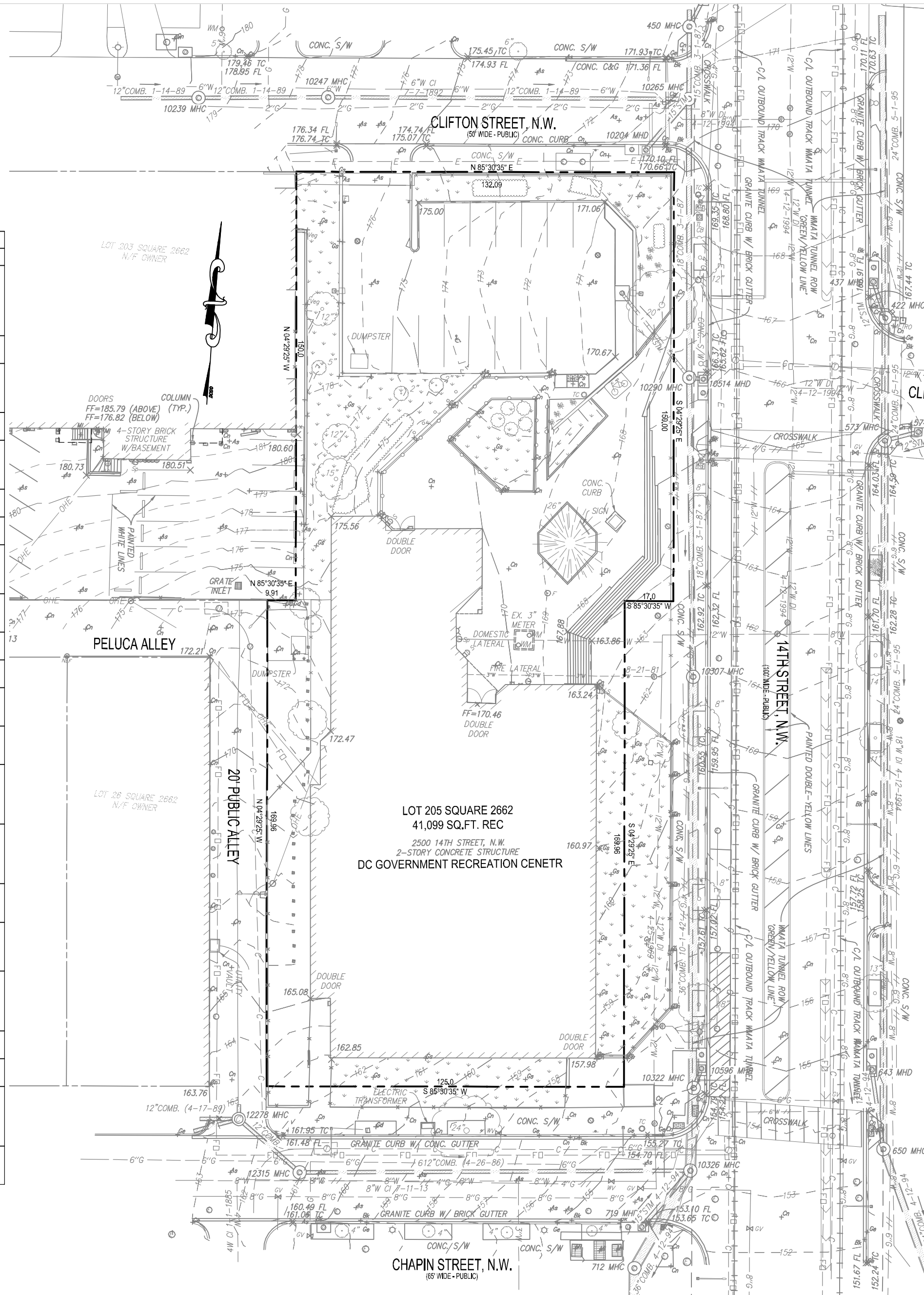
4/23/2019 6:17:15 PM

LEGEND

Symbol	Description
As	ASPHALT
Bk	BRICK
Co	COBBLESTONE
Cn	CONCRETE
Gd	GROUND
Gr	GRANITE
Gs	GRASS
Mh	MULCH
Ps	PAVERS
	SHRUB
	DECIDUOUS TREE
	BOLLARD
	BIKE RACK
TC	TRASH CAN
E	ELECTRIC BOX
T	TELEPHONE BOX
S	SECURITY CAMERA
	CLEANOUT
	FIRE HYDRANT
	SIAMESE FIRE HYDRANT
	MONITORING WELL
	WALL LIGHT
	COMBINED SEWER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	UTILITY MANHOLE
	WATER MANHOLE
	COBRA LIGHT POLE
	LIGHT POLE
	SQUARE GLOBE LIGHT POLE
GV	GAS VALVE
Sp	WATER SPIGOT
WM	WATER METER
WV	WATER VALVE
	DOUBLE DOOR
	MONUMENT FOUND CHISELED X
	MONUMENT FOUND NAIL
	CROSSWALK SIGNAL
	TRAFFIC SIGNAL
OHE	OVERHEAD ELECTRIC
C	UNDERGROUND COMMUNICATION
E	UNDERGROUND ELECTRIC
G	UNDERGROUND GAS
W	UNDERGROUND WATER
	UNDERGROUND STORM/SEWER
	FENCE LINE
	HAND RAIL
	PROPERTY LINE
TC	TOP OF CURB
FL	FLOWLINE
TW	TOP OF WALL
BW	BOTTOM OF WALL
S/W	SIDEWALK
N/F	NOW AND/OR FORMERLY
FF	FINISHED FLOOR
C&G	CURB AND GUTTER
CONC.	CONCRETE
TYP.	TYPICAL
COMB.	COMBINED SEWER
CLF	CHAIN LINK FENCE
WIF	WROUGHT IRON FENCE
rec	RECORD
mst	MEASUREMENT

Structure Table

Structure Name	Structure Details
422 MHC	RIM = 167.02 24" INV IN = 156.05 N 12" INV IN = 162.52 NW 12" INV IN = 158.16 E 12" INV IN = 165.82 NE 24" INV OUT = 155.98 S
437 MHD	RIM = 167.69 12" INV OUT = 162.82 SE
450 MHC	RIM = 171.84 12" INV IN = 167.70 N 15" INV IN = 163.27 N 15" INV OUT = 163.23 S
460 MHD	RIM = 172.36 12" INV OUT = 165.50 S
573 MHC	RIM = 164.89 24" INV IN = 154.19 N 12" INV IN = 161.04 E 24" INV OUT = 154.05 S
574 MHD	RIM = 166.28 12" INV OUT = 160.62 W
643 MHD	RIM = 155.15 12" INV OUT = 153.65 S
650 MHC	RIM = 154.05 24" INV IN = 143.20 N 12" INV IN = 149.03 N 24" INV OUT = 143.17 SE
712 MHC	RIM = 153.50 36" INV IN = 136.10 NE 36" INV OUT = 136.10 S
719 MHD	RIM = 153.78 15" INV OUT = 148.86 NE
10204 MHD	RIM = 170.97 15" INV OUT = 166.00 NE
10239 MHC	RIM = 179.57 12" INV IN = 171.20 W 12" INV OUT = 170.65 E
10247 MHC	RIM = 177.32 12" INV IN = 170.07 W 12" INV OUT = 169.80 E
10265 MHC	RIM = 170.80 12" INV IN = 162.86 W 15" INV IN = 165.43 SW 15" INV IN = 162.16 N 18" INV OUT = 162.05 S
10290 MHC	RIM = 166.42 18" INV IN = 158.07 N 12" INV IN = 163.26 E 12" INV IN = 160.02 W 18" INV OUT = 157.87 S
10307 MHC	RIM = 161.52 18" INV IN = 153.39 N 36" INV OUT = 145.08 S
10322 MHC	RIM = 154.99 36" INV IN = 139.72 N 12" INV IN = 150.72 N 36" INV OUT = 139.60 S
10326 MHC	RIM = 153.51 36" INV IN = 138.56 N 12" INV IN = 145.77 W 15" INV IN = 147.68 SW 36" INV OUT = 138.58 SW
10514 MHD	RIM = 166.27 12" INV OUT = 163.50 W
10596 MHD	RIM = 155.17 12" INV OUT = 151.00 S
12278 MHC	RIM = 162.64 12" INV IN = 153.92 W 12" INV IN = 158.37 W 12" INV IN = 154.45 N 12" INV OUT = 153.68 SE
12315 MHC	RIM = 161.06 12" INV IN = 151.34 NW 12" INV OUT = 151.34 E



GENERAL NOTES:

1. THE INFORMATION SHOWN RESULTS FROM A FIELD SURVEY BY THIS FIRM, LAST DATE OF FIELD SURVEY NOVEMBER 20, 2017.
2. NO TITLE REPORT FURNISHED, EASEMENTS AND/OR OTHER ENCUMBRANCES OF RECORD MAY EXIST AND ARE NOT SHOWN HEREON.
3. BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INSOFAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C.
4. ELEVATIONS SHOWN ARE REFERENCED TO DCDPW DATUM (BM 6-34 & 6-52), MERIDIAN REFERENCED TO DCSO NORTH, BY HOLDING RECORD BEARING OF 14TH STREET, N.W. S04°29'25"E.
5. VISIBLE ABOVE GROUND UTILITIES HAVE BEEN SHOWN. SUBSURFACE UTILITIES, WHERE SHOWN, FOLLOW ASCE 38-02 QUALITY LEVELS A-D. A: VISUALLY VERIFIED VIA TEST HOLES; B: DESIGNATED AND SURVEYED; C: RECORD INFORMATION CORRELATED WITH SURVEYED SURFACE FEATURES; D: RECORD INFORMATION ONLY. WHERE SUBSURFACE UTILITIES HAVE BEEN APPARENTLY DESIGNATED BY OTHERS ON SITE, THOSE LOCATIONS WILL BE SHOWN AS QUALITY LEVEL C. UTILITIES MAY EXIST THAT ARE NOT SHOWN. UNLESS OTHERWISE LABELED AS ABOVE, THIS SURVEY REPRESENTS QUALITY LEVEL C.
6. PROPERTY IS IDENTIFIED AS ZONE X – AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON FIRM COMMUNITY PANEL 1100010016C, EFFECTIVE DATE SEPTEMBER 27, 2010.
7. AS OF MAY 15, 2017, THE PROPERTY IS ZONED MU-5A AS DELINEATED ON THE ZONING MAP FROM DISTRICT OF COLUMBIA'S OFFICE OF ZONING (http://maps.dcoz.dc.gov/zr16); MINIMUM BUILDING SETBACK, MAXIMUM PERMITTED FLOOR AREA RATIOS, AND MAXIMUM BUILDING HEIGHTS ARE BASED UPON INTERPRETATIONS OF THE PROPOSED USE BY THE DISTRICT OF COLUMBIA ZONING OFFICE.
8. THE SURVEYED PROPERTY IS ENCOMPASSED BY THE 300 FOOT WMATA METRO RAIL LINE BUFFER.

UNDERGROUND UTILITY RECORDS SHOWN:

UTILITY	SOURCE	DATE:
SEWER: WASA PANEL:	OS E-11-N.W.	8-27-58
WATER: WASA PANEL:	OW E-11-N.W.	11-7-51
ELECTRIC: PEPCO	NONE RECEIVED AS OF 11-21-2017	
GAS: WASHINGTON GAS	WG-3187	5-22-17
OCTO DCNET FIBER:	2500_14TH	5-22-17
COMMUNICATION: VERIZON	MAP#9,GRID K-9 N.W. 35 & 36-2	3-5-85
COMMUNICATION: MCI	REPORTED NONE	06-02-2017
COMMUNICATION: COMCAST	1177_001	5-24-17

20' 10' 0 20' 40'
1" = 20'

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1908601 Date 09/03/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

LEAVE BLANK - FOR DCRA USE ONLY

CUNNINGHAM | QUILL ARCHITECTS PLLC

1054 31st STREET NW
SUITE 315
WASHINGTON, DC
20007

PH. 202.337.0090
FX. 202.337.0092
www.cunninghamquill.com

OWNER:
D.C. Department of General Services
1250 U Street, NW, 4th Floor
Washington, DC 20009
Phone: (202) 727-2800

STRUCTURAL ENGINEER:
Yun Associates, LLC
1775 K Street, NW, Suite 220
Washington, DC 20006
Phone: 202-849-3075

MEP ENGINEER:
Setty & Associates International
3040 Williams Drive, Suite 600
Fairfax, VA 22031
Phone: 703-691-2115

CIVIL ENGINEER:
Wiles Mensch Corporation
510 8th Street, SE
Washington, DC 20003
Phone: 202-638-4040 x255

LANDSCAPE ARCHITECT:
Landscape Architecture Bureau
714 7th Street, SE
Washington, DC 20003
Phone: 202 543 6550

DISTRICT OF COLUMBIA PROFESSIONAL ENGINEER LICENSED 4-22-19

Copyright © 2019

Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit
02/08/2019	Design Development
04/09/2019	Permit Draft
04/23/2019	Permit Set

ISSUED FOR PERMIT - DEPARTMENT OF GENENAL SERVICES PROJECT

Ward 1 STFH & PSH
2500 14th Street NW
Washington DC 20009

CQA# 21811

Drawing Title

Existing Conditions Plan

Scale	Drawn By
1" = 20'	BG
Date 12/15/18	Checked By MS

CIV0101

1/14/2019 3:49:01 PM